



18

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: JOSH ROGERS, PLANNER II *JR*
(480) 503-6589, JOSH.ROGERS@GILBERTAZ.GOV

THROUGH: AMY TEMES, INTERIM PRINCIPAL PLANNER *AT*
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: SEPTEMBER 5, 2018

SUBJECT: DR18-81, HIGLEY VILLAGE PHASE II

STRATEGIC INITIATIVE: Economic Development

Promote commercial, retail and employment land uses that are compatible with adjacent land uses and meet economic goals.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR18-81, Higley Village Phase II: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.4 acres, generally located at the southeast corner of South Higley and East Queen Creek Roads and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

APPLICANT/OWNER

Company: Klusman Family Holdings

Name: Jonathan Ammon

Address: 2701 E. Camelback Rd. Suite 180
Phoenix, AZ 85016

Phone: 602-689-9552

Email: jammon@jammonstudios.com

Name: Aaron Klusman

Address: 2701 E. Camelback Rd. Suite 180
Phoenix, AZ 85016

Phone: 602-980-4184

Email: aklusman@camelbackpartners.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>July 22, 1997</i>	Town Council approved Z98-06, Ordinance No. 1049 rezoning 385.93 acres from Agriculture (AG) to Single Family Residential R1-7, R1-8 and R1-10 with Planned Area Development (PAD) overlay.
<i>April 28, 1998</i>	Town Council approved Ordinance No. 1102 amending Ordinance No. 1049 to change zoning from Single Family Residential (R1-7) to General Commercial (C-2), reduce the lot depth, and change the project name from Queen Creek Estates PAD to Coronado Ranch Planned Area Development (PAD).
<i>March 10, 2005</i>	Design Review Board approved DR04-106, the Higley Village site plan, landscape and elevations.
<i>September 27, 2005</i>	Town Council approved Final Plat Higley Village.
<i>February 15, 2007</i>	Design Review Board approved DR06-120, Full Circle Autowash, Lots 1 and 2 of the Higley Village Final Plat. (Expired February 15, 2009)
<i>March 28, 2007</i>	Design Review Board approved DR06-139 Comprehensive Sign Program for Higley Village.
	Town Council approved Z08-11, Ordinance No. 2193 amending Ordinance Nos. 1049 and 1102 changing the zoning of 4.7 acres from Single-Family-7 (SF-7) with a Planned Area Development (PAD) overlay to Shopping Center (SC) with a Planned Area Development (PAD) overlay.
<i>January 4, 2017</i>	Design Review Board approved DR16-35 Cobblestone No. 16 for Higley Village Lot 1.

Overview

Located at the southeast corner of Higley and Queen Creek Roads, the 8,957 square foot building is proposed to fill a vacant pad facing Higley Road. The building is proposed to house a restaurant, drive-thru establishment, and an unknown retail use.

On March 10, 2005, the 18.529 acre Higley Village - Retail & Office Condominium Development (DR04-106) was approved for approximately 119,000 square feet of commercial and office use with shared parking and cross-access easements. The proposed restaurant/retail building is located on Lot 2 (1.4 acres) of the Higley Village commercial subdivision directly south of the Cobblestone Carwash (Lot 1). The proposed commercial use is for a full service restaurant (4,469 sq.ft.), beverage shop with drive through service (2,491 sq.ft.), and one more undetermined retail use (2,071 sq.ft). Zoning for the site is Shopping Center (SC) with Planned Area Development (PAD) overlay.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Shopping Center (SC)	Shopping Center (SC/PAD)	Higley Village Lot 1 Cobblestone Car Wash
South	Shopping Center (SC)	Shopping Center (SC/PAD)	Higley Village Business Park
East	Shopping Center (SC)	Shopping Center (SC/PAD)	Higley Village Business Park
West	Parks and Recreation (P/R)	Public Facility/Institution (PF/I)	Higley Road then Vacant
Site	Shopping Center (SC)	Shopping Center (SC/PAD)	Higley Village Lot 2 Vacant

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height	35' / 2 stories	25' / 1story
Minimum Building Setback		
Front to ROW	25'	110'
Minimum Required Perimeter Landscape Area		
Front to ROW	25'	20'*
Side to non-residential	15'	N/A
Rear to non-residential	15'	N/A
Landscaping (% of net lot area)	15%	12% **

*Approved under DR04-106 Higley Village Final Plat

** Sharing with Lot 1 (DR16-35), which provided an excess 7.4% in landscaped area.

DISCUSSION**Site**

The proposed facility is located upon Lot 2 of the Higley Village commercial subdivision. Site improvements for the Cobblestone Carwash (Lot 1) including drainage, travel aisles and parking were approved for use on this site under DR16-35. Higley Village's Final Plat (Note No. 7) provides a reciprocal cross-access easement for vehicles and pedestrians as well as shared parking. Additionally, the approval of DR04-106 Higley Village established ingress/egress drives from Queen Creek and Higley Road into Higley Village. DR04-106 also approved the general internal circulation among the lots.

Orientation of the building will be east-west with the front entries facing Higley Road. The site includes covered outdoor patios along the western elevation for each of the prospective tenants. A shaded sidewalk along the private drive to the south offers pedestrians access to this site from Higley Road as well as the rest of Higley Village to the east. A drive through is proposed to

wrap around the building from the southern private drive along the east and north elevations to the western drive aisle.

Vehicular Circulation

Access for the site includes 3 vehicular cross-access points to the Cobblestone Car wash to the north as well as three ingress/egress points as well as a singular ingress point for the proposed drive through along the main private drive to the south into the village. The applicant will be modifying the landscape medians along this private drive to accommodate access to the Lot 2 ingress/egress points. The drive through stacking area is 4 car lengths from the point of order and has a total length of approximately 160' from the pick-up window to the entrance off of the southern private drive.

Per the Higley Village Final Plat note, a shared access and parking agreement exists for the site. For this site, 39 parking spaces are required and 60 spaces are provided on Lot 2 with 15 of those spaces being shared with Cobblestone on Lot 1 through a shared parking agreement between the applicant and land owner. Parking for Lot 2 is split near evenly between the front and rear of the building so as to offer easy access for patrons coming in from Higley Road, as well as those accessing the site internally from the east.

Landscape

Landscaping along Higley Road, the location and design of the landscape screen wall, as well as the landscape island buffering the shared parking from the north-south internal drive on the eastern edge of the site were all approved by the Planning Commission as site improvements under DR16-35. The applicant has included foundation and other parking island landscaping on the site, shade trees along the sidewalk on the south, as well as a landscaping to buffer the on-site drive through from the internal drive aisle shared with Cobblestone. Staff would like to note that Higley Village platted and constructed the 20' wide landscape area along Higley Road and therefore the front landscape are grandfathered at 20' instead of the current LDC standard of 25'.

The site includes 2,466 sq.ft. of existing and 7,412 sq.ft. of new landscaping for a total landscape coverage of 12%. The extra 3% landscape area required to meet the LDC requirement of 15% has been derived from the extra 7.4% provided by Cobblestone Carwash as part of an overall shared site plan between the two lots.

The plant palette includes Chinese Elm, Mexican Fan Palm, Red Yucca, Desert Willow, Rio Grande Ash, Baja Ruellia, Deer Grass, Gold Mound Lantana and Decomposed Granite and are consistent with what is found in the existing Higley Village.

Grading and Drainage

The proposed grading and drainage plan consists mainly of underground storage and is part of a shared infrastructure agreement as part of the final grading and drainage report approved under DR16-35 and generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Floor Plan, Colors and Materials

This project proposes a singular, one-story building sub-divided into (3) suites with both horizontal and vertical variation in the building massing and parapet lines to provide visual relief along the elevations as well as the necessary screening for the mechanical units. The design also uses covered and recessed protected entries that provide a clear distinction between the roof and body of the building. The elevations were designed to reinforce the pedestrian scale consistent throughout Higley Village.

The proposed architecture is a contemporary and is generally consistent with the Higley Village Tuscan design flare. Designed to include large storefront glass windows, Spanish “S” tile roofing for the drive through, storefront overhangs, horizontal banding in the rear, and Colorado stone accents. The proposed color and materials of the buildings complements the existing Higley Village pallet.

Staff notes that according to the applicant, the internal floor plan of the building has not yet been finalized and still being finalized with the prospective tenants.

Lighting

There are four lighting types proposed. Included are eight (8) LED wall pack fixtures (SC) mounted approximately at 10’ high on the walls and above the walkway areas. Eighteen (18) downlight LED fixtures (SD) are mounted below the canopies to illuminate the drive-thru lane and the pedestrian outdoor dining. Four (4) mullions-mounted emergency fixtures (SE) are located above west side storefront entry doors. Three (3) 20’ tall pole mounted LED lights (SA/SB) are proposed to illuminate parking and travel aisles. All site lighting will be required to comply with Town codes.

Signage

Proposed signs and locations are not included in this approval of case DR18-81, Higley Village Phase II. All proposed signs must comply with the Higley Village Comprehensive Sign Program per the approved case PDA-2007-00082 dated 9/18/2007. The monument sign design and locations for this parcel are designated as C1 and C2 of the Higley Village Comprehensive Sign Plan. Administrative Design Review approval is required prior to permitting.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR18-81, Higley Village Phase II: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.4 acres, generally located at the southeast corner of Higley and Queen Creek Roads and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the September 5, 2018 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Signage is not included in this approval. Administrative Design Review approval is required prior to submitting for sign permits.

Respectfully submitted,

A handwritten signature in black ink that reads "Joshua Rogers". The signature is written in a cursive, flowing style.

Josh Rogers
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing
- 3) Aerial Photo
- 4) Approved Higley Village Overall Site Plan
- 5) Site Plan
- 6) Landscape
- 7) Grading and Drainage
- 8) Elevations
- 9) Colors and Materials
- 10) Floor Plans
- 11) Lighting

**FINDINGS OF FACT
DR18-81, Higley Village Phase II**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, September 5, 2018* TIME: 6:00 PM

**LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Drive
Gilbert, Arizona 85296**

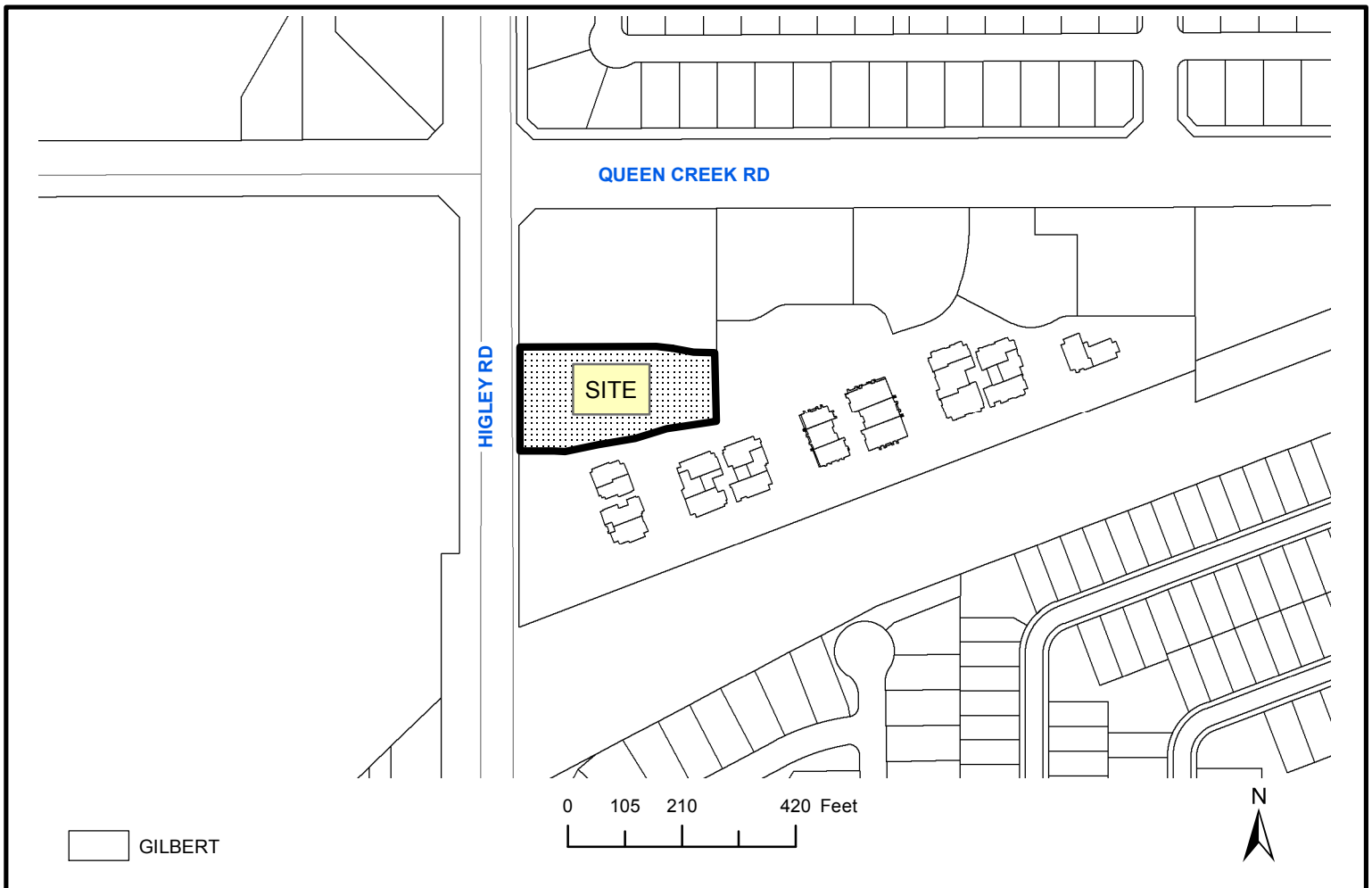
*** Call Planning Department to verify date and time:
(480) 503-6589**

* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <https://www.gilbertaz.gov/departments/development-services/planning-development/planning-commission>

REQUESTED ACTION:

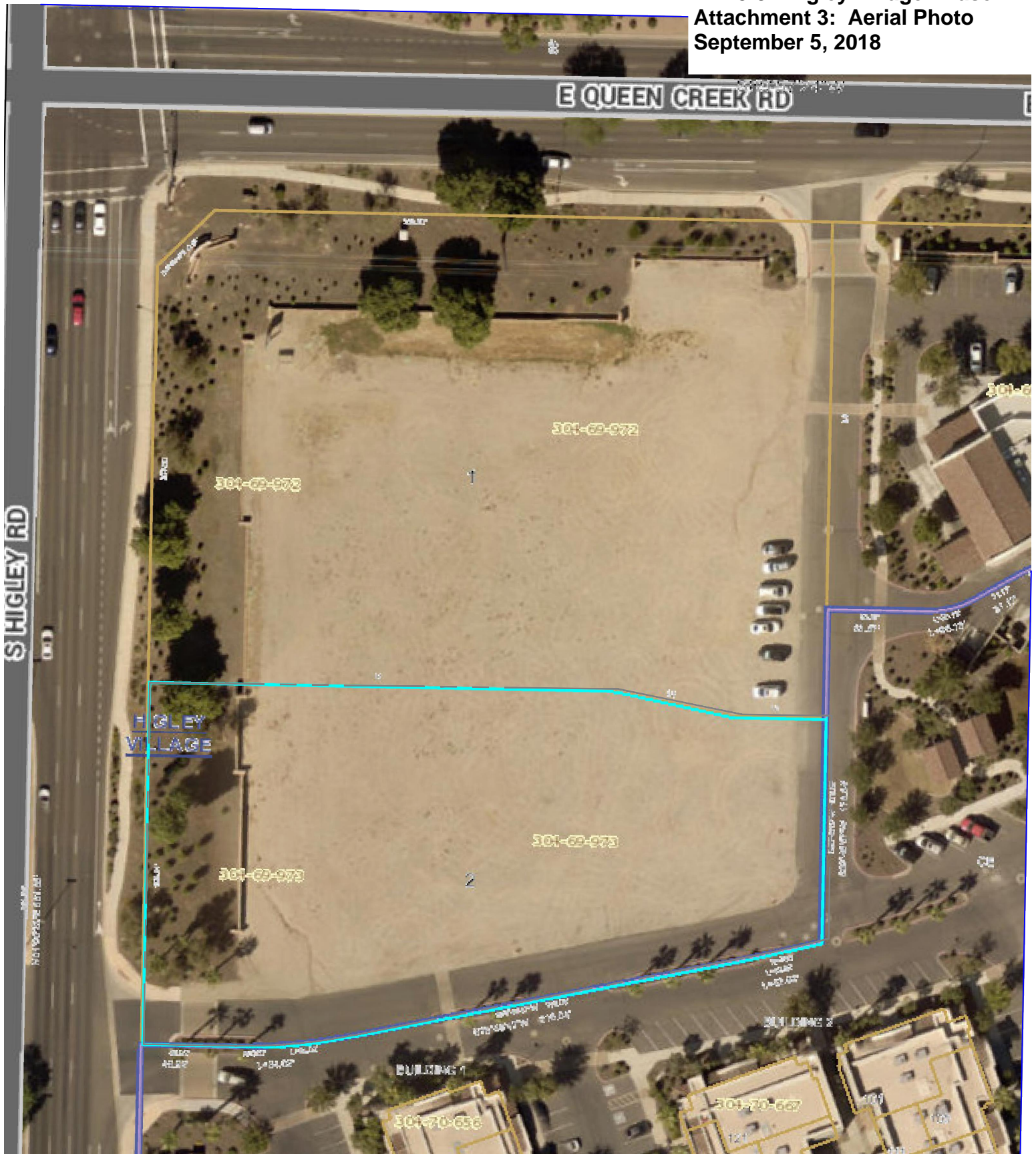
DR18-81 HIGLEY VILLAGE PHASE II: Site Plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.4 acres, generally located on the southeast corner of Higley and Queen Creek Roads and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

SITE LOCATION:



**APPLICANT: Klusman Family Holding
CONTACT: Jonathan Ammon/Tim Rasnake
ADDRESS: 2701 East Camelback, Ste. 180
Phoenix, AZ 85016**

**TELEPHONE: (602) 689-9552
E-MAIL: jammon@jammonstudios.com
timr@archicon.com**

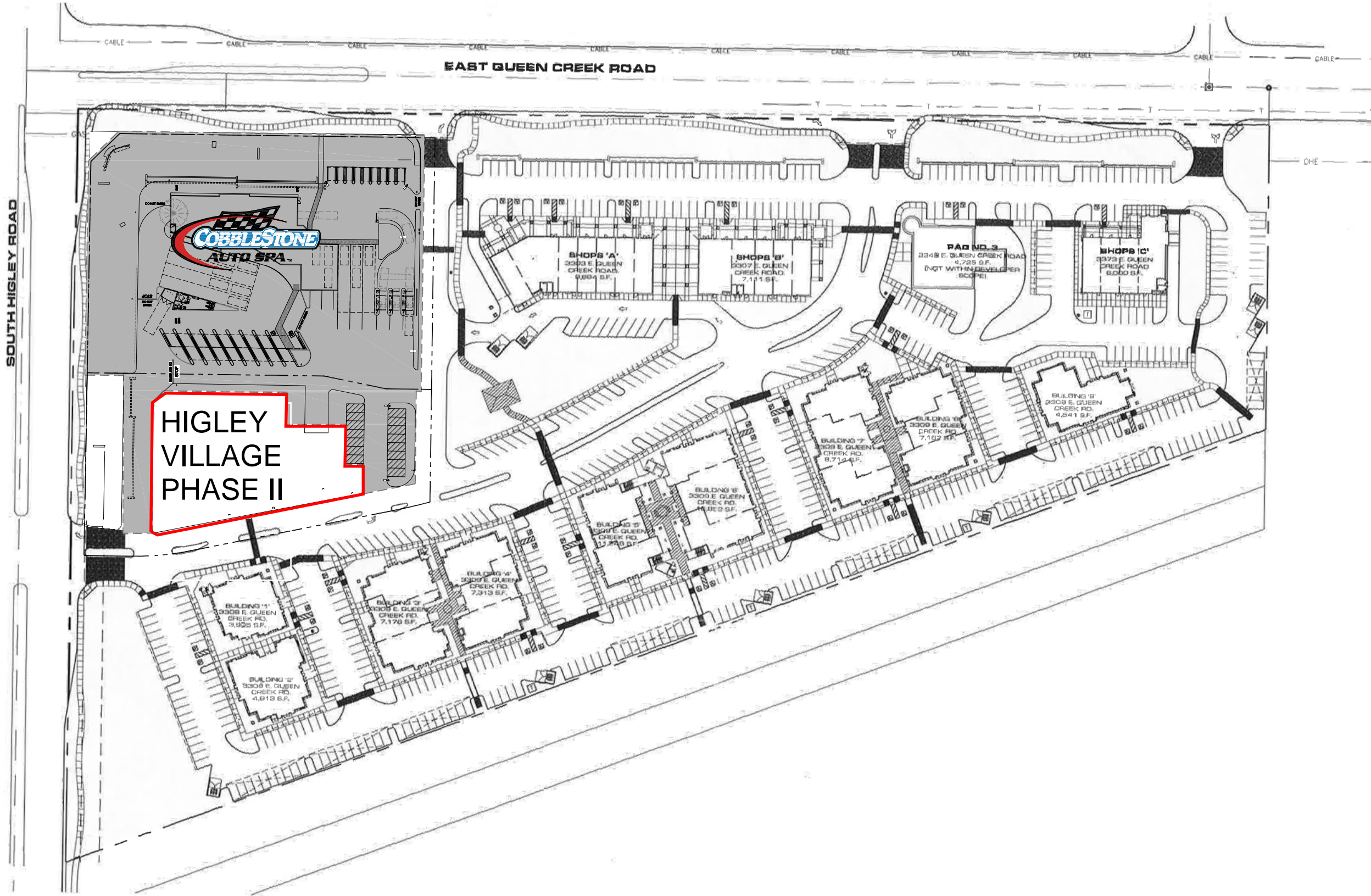


HIGLEY VILLAGE RETAIL BUILDING
4865 S. HIGLEY RD.
GILBERT AZ. 85298
PARCEI AERIAL MAP
19 APRIL, 2018

EXIBIT 3



5055 E. Washington St., Ste. 200
Phoenix, Arizona 85034
Phone: (602) 222-4266
www.archicon.com
ARCHICON
Architecture & Interiors, L.C.



DESIGN

**Architectural
Solutions Group**

76 E MITCHELL DRIVE
PHOENIX, AZ 85012

PHONE: (602) 457-5757
FAX: (602) 457-5755
ROY PEDRO, ARCHITECT
KEN MCCracken, ARCHITECT
JESSE MACIAS, VICE PRESIDENT



Seal

REVISION

DATE

MARK

Project Number

CBL15006

Sheet Name

OVERALL SITE PLAN
PARKING EXHIBIT

Sheet Number

DD1.5

NORTH





ARCHICON
Architecture & Interiors, L.C.

5055 E. WASHINGTON STREET
SUITE 200
PHOENIX, ARIZONA 85034
P: 602.222.4266
www.archicon.com

KLUSMAN FAMILY HOLDING
NEW RETAIL BUILDING
4865 S. HIGLEY RD.
GILBERT, ARIZONA 85298

PROJECT NUMBER: 182225-01
PROJECT MANAGER: OT
DRAWN BY: OT
CHECKED BY: JP

NO.	REVISION	DATE

SHEET DESCRIPTION
Preliminary Site Plan



SHEET NO.

DR 1

ISSUE DATE: 07 MAY 18

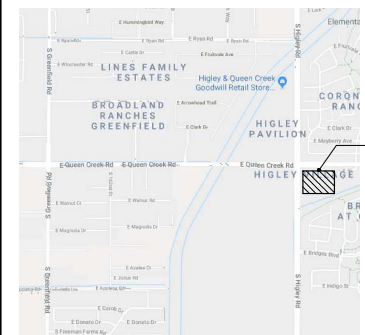
- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
B. ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' FROM ADJACENT GRADE.
C. BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 11.22.A OF THE ULDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'. THE MAXIMUM HEIGHT OF A BUILDING MOUNTED LIGHT FIXTURE IS 14'. THE MAXIMUM HEIGHT OF A FREESTANDING LIGHT FIXTURE LOCATED WITHIN 100' OF A RESIDENTIAL ZONING DISTRICT OR PROPERTY DESIGNATED FOR RESIDENTIAL DEVELOPMENT IN THE GENERAL PLAN IS 14'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED, NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTAGE MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANTE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
16. CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

17 SITE PLAN NOTES

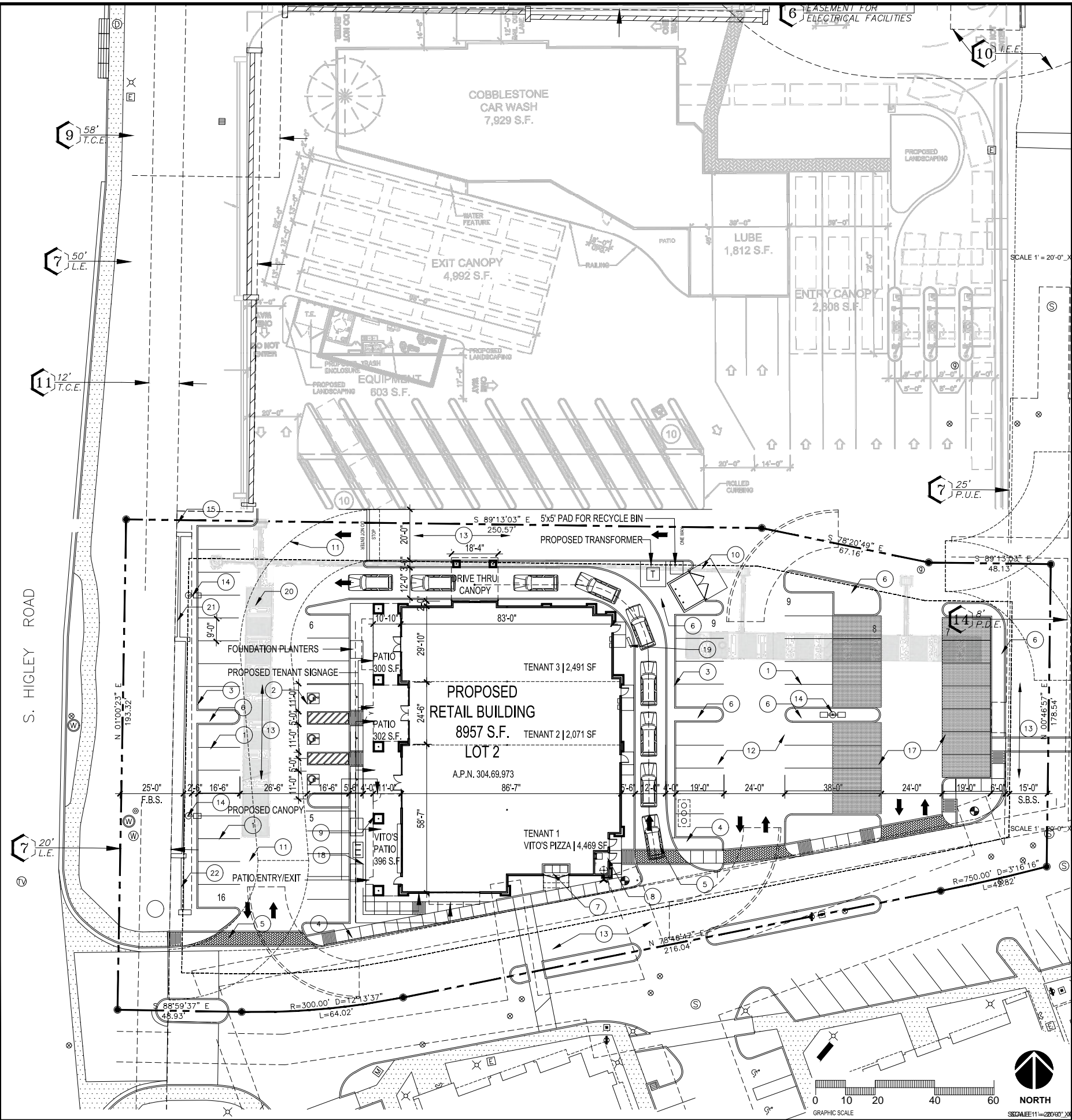
- TYPICAL STANDARD 9X18' PARKING STALL.
- TYPICAL ACCESSIBLE PARKING STALL AND ACCESS AISLE WITH ACCESSIBLE PARKING SIGN PER TOWN OF GILBERT.
- NEW 6" CONCRETE CURB
- CONCRETE SIDEWALK
- PEDESTRIAN CROSSWALK ACCESS.
- LANDSCAPE AREA.
- ELECTRICAL SERVICE ENTRANCE SECTION (S.E.S.)
- FIRE RISER ROOM.
- KNOW BOX.
- REFUSE ENCLOSURE.
- EMERGENCY APPARATUS TURNING RADI (35/55)
- TYPICAL ASPHALT PAVEMENT.
- CROSS ACCESS.
- TYPICAL POLE MOUNTED SITE LIGHT FIXTURE.
- PARKING LOT SCREEN WALL TO MATCH EXISTING ADJACENT SCREEN WALL.
- UTILITY SCREEN WALL.
- SHADED AREA INDICATES LOT 115 SHARED PARKING SPACES.
- BICYCLE PARKING RACKS.
- DRIVE-THRU MENU BOARD.
- UNDER GROUND RETENTION PER COBBLESTONE DR16-35.
- EXISTING PARKING SCREEN WALL PER DR16-35.
- PROPOSED SCREEN WALL EXTENSION TO MATCH EXISTING ADJACENT SCREEN WALL.

23 KEYNOTES

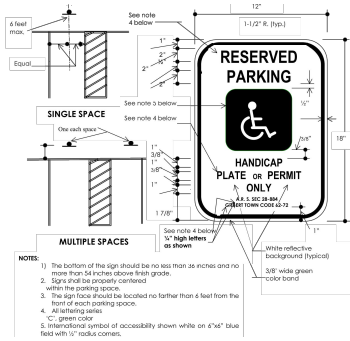
12 PROJECT DATA



18 VICINITY MAP

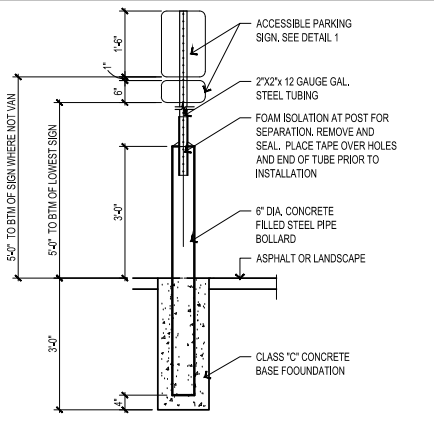


19 PRELIMINARY DEVELOPMENT SITE PLAN



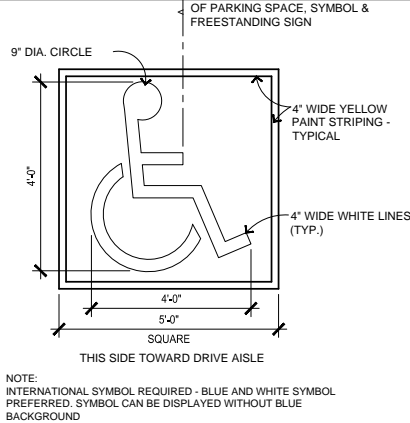
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1 ADA SIGN



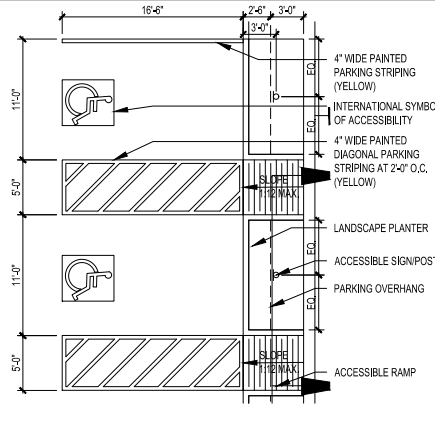
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2 ADA SIGN POST



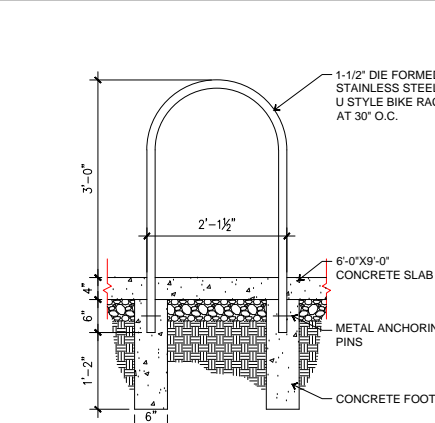
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3 ADA PARKING SYMBOL



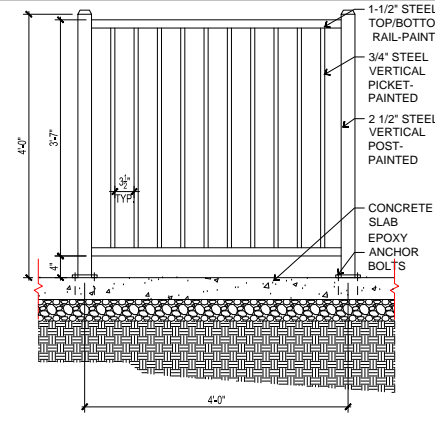
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4 ADA PARKING SPACE



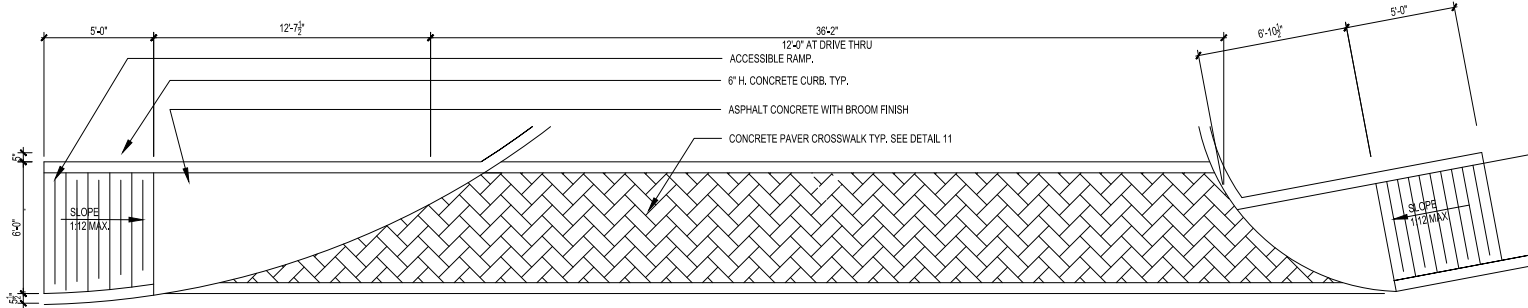
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5 BIKE RACK



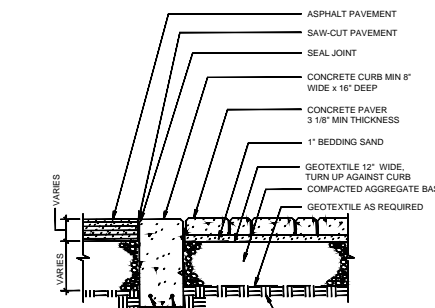
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6 PATIO GATE ENCLOSURE



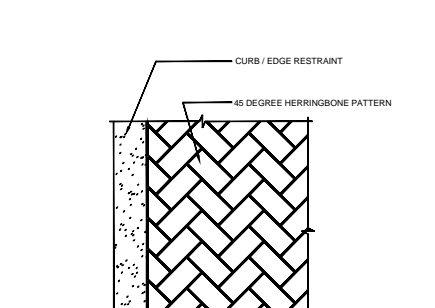
SCALE : 1/4" = 1'-0"

7 PEDESTRIAN CROSSWALK



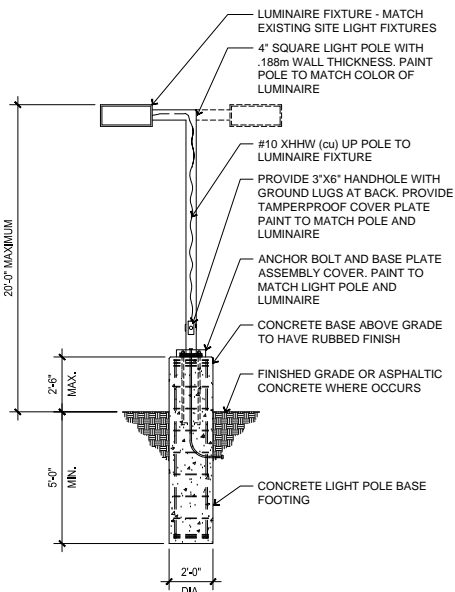
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11 CROSSWALK SECTION



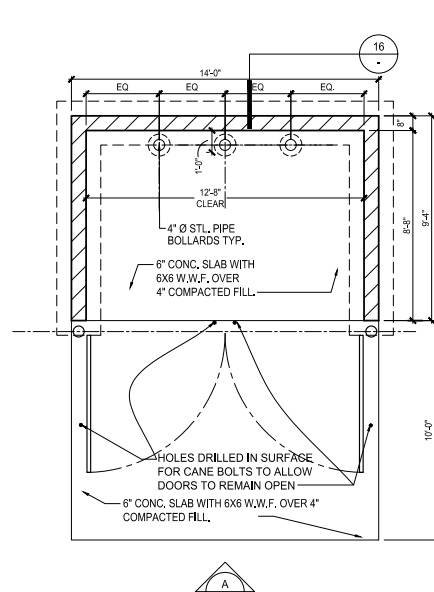
SCALE : 3/4" = 1'-0"

12 CROSSWALK PATTERN

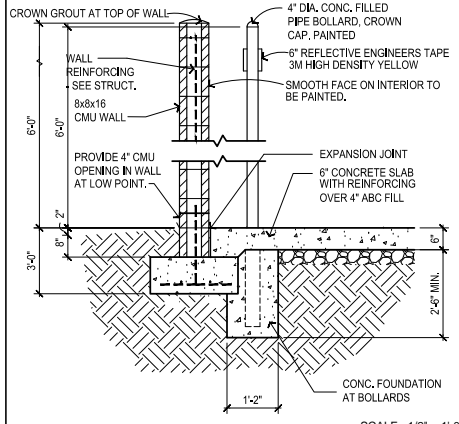


SCALE : 1/4" = 1'-0"

19 LIGHT POLE

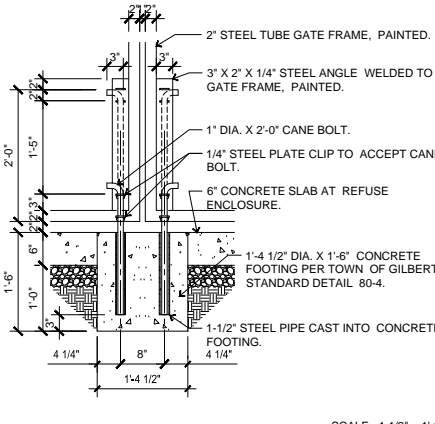


20 REFUSE ENCLOSER



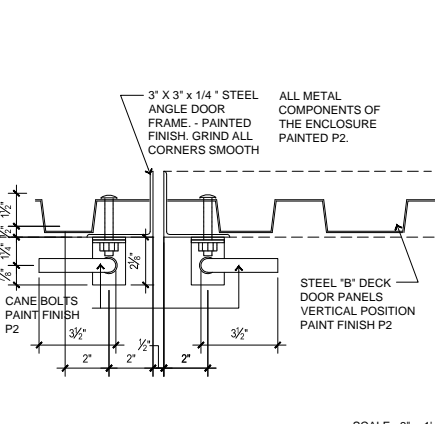
SCALE : 1/2" = 1'-0"

16 REF. ENCLOSER SECTION



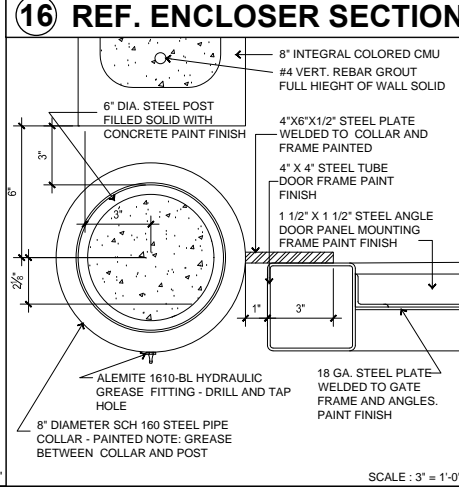
SCALE : 1 1/2" = 1'-0"

17 REFUSE CANE BOLT



SCALE : 3" = 1'-0"

18 REFUSE GATE



SCALE : 3" = 1'-0"

22 REFUSE GATE HINGE

SITE MATERIAL SCHEDULE			
ITEM	MATERIAL	MANUFACTURE	FINISH
PARKING LOT	ASPHALT	-	-
PARKING LIGHT POLE BASE	CONCRETE	-	NATURAL CONCRETE
PARKING LIGHT	STEEL	-	POWER COATED ALUMINUM - BARK BRONZE
SIDEWALK	CONCRETE	-	BROOM FINISH
ACCESSIBLE RAMP	CONCRETE	-	2'-0" TRUNCATED DOMES - MATCH EXISTING
INTERLOCKING PAVING STONES	CONCRETE	ORCO (OR EQUAL)	HOLLAND - HERRINGBONE - B4 MONTECITO
PATIO GATE / ENCLOSURE	STEEL	XCEL FENCE INC. (OR EQUAL)	SW 7674 PEPPERCORN
REFUSE GATE	STEEL	CENTRIA TR 4-36 (OR EQUAL)	SW 7032 WARM STONE
REFUSE BOLLARDS	STEEL	-	HIGH VISIBILITY YELLOW
REFUSE BLOCK WALL	CMU	SUPERLITE BLOCK	SW 7032 WARM STONE

23 SITE MATERIALS AND FINISH SCHEDULE



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KLUSMAN FAMILY HOLDING
NEW RETAIL BUILDING
4865 S. HIGLEY RD.
GILBERT, ARIZONA 85298

PROJECT NUMBER: 182225-01
PROJECT MANAGER: OT
DRAWN BY: OT
CHECKED BY: JP

NO.	REVISION	DATE
1		
2		
3		
4		
5		

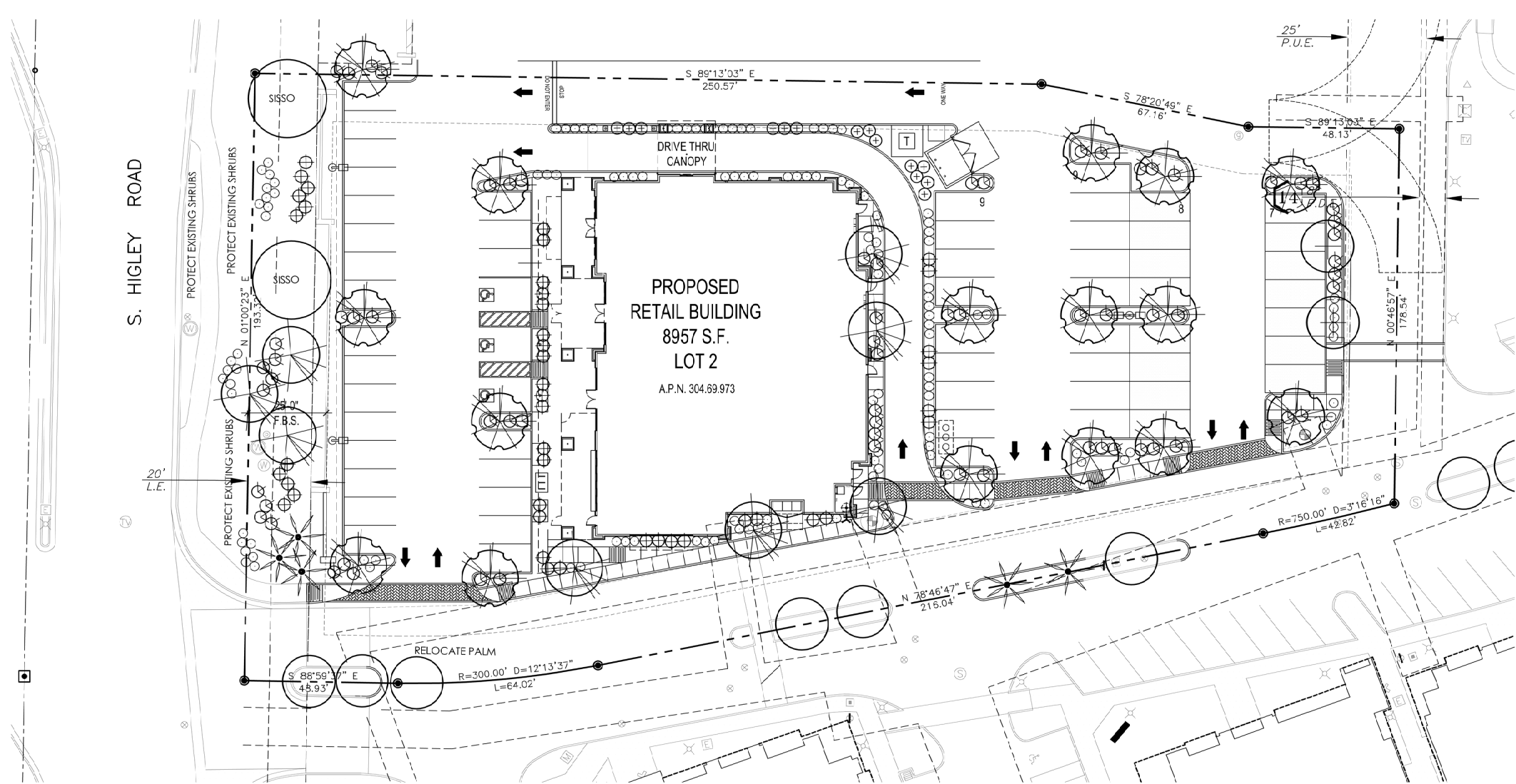
SHEET DESCRIPTION
SITE DETAILS



SHEET NO.

DR 1.1

ISSUE DATE: 07 MAY 18



TOWN OF GILBERT
LANDSCAPE NOTES:

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT AS-BUILTS ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.)

CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. CAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST, THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

REMAIN IN PLACE LANDSCAPE:

ALL EXISTING LANDSCAPE AREAS NOTED TO "PROTECT EXISTING LANDSCAPE" SHALL BE PROTECTED. ANY DAMAGE WILL REQUIRE REPLACEMENT WITH LIKE SIZE AND LIKE TYPE.

SCREEN WALLS:
SEE ARCHITECTURAL DRAWINGS FOR SCREEN WALL DETAILS

LANDSCAPE PLAN



LANDSCAPE LEGEND

- ULMUS PARVIFOLIA CHINESE ELM 24" BOX (MATCHING) (1)
- WASHINGTONIA ROBUSTA MEXICAN FAN PALM 12' TRUNK FT. (STRAIGHT) (5) 4-NEW, 1-RELOCATED
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON (1)
- RUELLIA PENINSULARIS BAJA RUELLIA 5 GALLON (1)
- CHILOPSIS LINEARIS 'HYBRID' LOIS ADAMS DESERT WILLOW 24" BOX (1)
- MUHLBERGIA RIGENS DEER GRASS 5 GALLON (1)
- LANTANA MONTEVIDENTIS 'GOLD MOUND' 1 GALLON (1)
- 1/2" SCREENED APACHE BROWN DECOMPOSED GRANITE (MATCH EXIST.) 2" DEPTH IN ALL LANDSCAPE AREAS
- FRANINUS 'RIO-GRANDE' RIO GRANDE ASH 24" BOX (MATCHING) (1)
- EXISTING TREE PROTECT FROM CONSTRUCTION

LANDSCAPE DATA:

OFF-SITE LANDSCAPE AREA: (2,466 SQ.FT. existing)
ON-SITE LANDSCAPE AREA: 7,412 SQ.FT. (NEW LANDSCAPE)
TOTAL LANDSCAPE AREA: 9,878 SQ.FT.
NET SITE AREA: 60,970 SQ.FT.
PERCENT OPENSAPCE: 12%

T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320

EMAIL: timmccqueen@tjma.net

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KLUSMAN FAMILY HOLDING

NEW RETAIL BUILDING
4865 S. HIGLEY RD.
GILBERT, ARIZONA 85298

PROJECT NUMBER: 182225-01
PROJECT MANAGER: OT
DRAWN BY: OT
CHECKED BY: JP

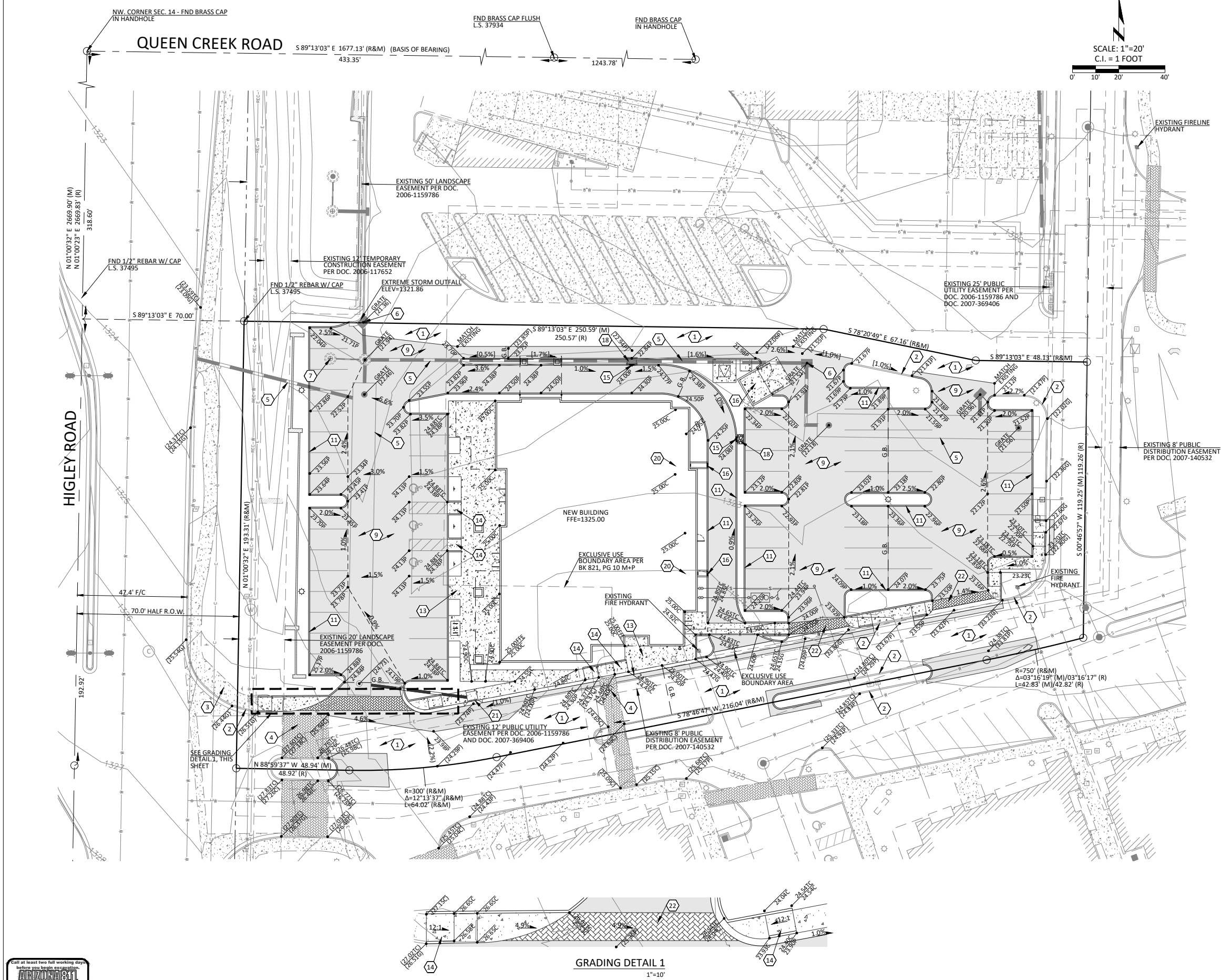
NO.	REVISION	DATE

SHEET DESCRIPTION

SHEET NO.

La.01

ISSUE DATE: 07.13.18



KEYNOTES

- 1 EXISTING ASPHALT TO REMAIN.
- 2 EXISTING CURB TO REMAIN.
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4 EXISTING DECORATIVE PAVERS TO REMAIN.
- 5 EXISTING STORM DRAIN PIPE AND UNDERGROUND RETENTION TO REMAIN.
- 6 EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
- 7 EXISTING DRYWELL TO REMAIN.
- 8 EXISTING MASONRY SCREEN WALL TO REMAIN.
- 9 NEW ASPHALT PAVEMENT.
- 10 NEW CONCRETE PAVEMENT.
- 11 NEW CONCRETE VERTICAL CURB.
- 12 NEW CONCRETE CURB TRANSITION.
- 13 NEW CONCRETE SIDEWALK.
- 14 NEW ACCESSIBLE ACCESS RAMP.
- 15 NEW CURB OPENING.
- 16 NEW CURB OPENING AND CONCRETE SPILLWAY.
- 16 NEW TRASH ENCLOSURE.
- 17 NEW MASONRY SCREEN WALL.
- 18 NEW RIP RAP PAD.
- 19 NEW STORM DRAIN PIPE.
- 20 ROOF DOWNSPOUT LOCATION.
- 21 NEW CATCH BASIN PER MAG DETAIL 530.
- 22 NEW BRICK PAVERS



4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

CYPRESS PROJECT NO: 18.029



NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for
QUEEN CREEK RETAIL
4865 SOUTH HIGLEY ROAD GILBERT, ARIZONA
grading and drainage plan

OWNER
KLUSMAN FAMILY HOLDINGS, LLC
5102 EAST EXETER BOULEVARD
PHOENIX, ARIZONA 85018
ATTN: AARON KLUSMAN
PH: 602-980-4184

SITE ADDRESS
4865 SOUTH HIGLEY ROAD
GILBERT, ARIZONA 85298
APN: 304-69-973

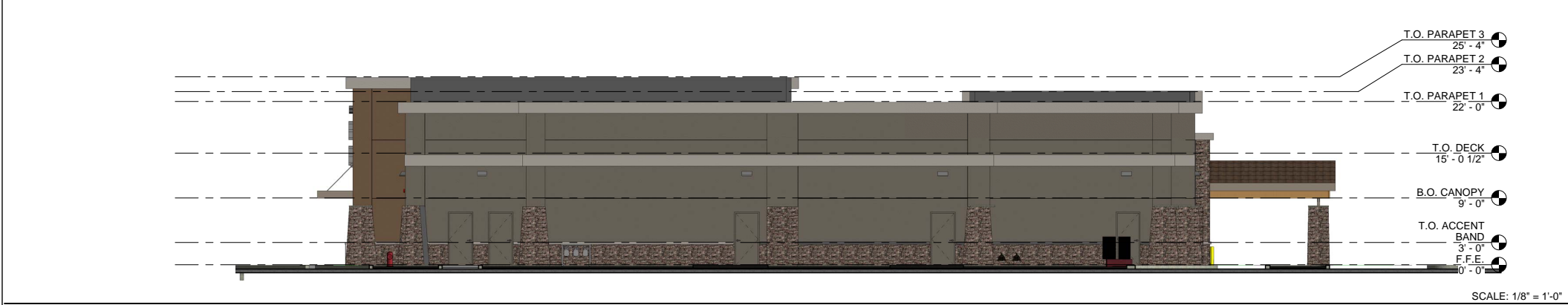
SHEET NUMBER



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.



1 NORTH ELEVATION



7 EAST ELEVATION



13 WEST ELEVATION



19 SOUTH ELEVATION

<u>CLAY ROOF TILE</u>	
RT1	MANUFACTURE: MCA COLOR: IRONWOOD BLEND STYLE: MISSION
<u>E.I.F.S.</u>	
E1	COLOR: SW 7632 MODERN GREY TEXTURE: FIND SAND
E2	COLOR: SW 7032 WARM STONE TEXTURE: FIND SAND
E3	COLOR: SW 6061 TANBANK TEXTURE: FIND SAND
<u>SIMULATED STONE VENEER</u>	
S1	MANUFACTURE: CORONADO STONE COLOR: PRAIRE MOSS STYLE: TUSCAN VILLA
<u>ALUMINUM STOREFRONT WINDOW SYSTEM</u>	
A1	MANUFACTURE: KAWNEER OR EQUAL FINISH: DARK BRONZE ANODIZE
<u>GLASS</u>	
G1	MANUFACTURE: PPG COLOR: CLEAR THICKNESS: 1" INSULATED
<u>MISCELLANEOUS METAL</u>	
M1	MANUFACTURE: SW COLOR: 7674 PEPPERCORN

12 EXTERIOR FINISH LEGEND

<u>18 KEYNOTES</u>	
1. ALL PAINT AND EXTERIOR COATING COLORS ARE BY SHERWIN WILLIAMS PAINT COMPANY. 2. ALL EIFS TO HAVE HIGH-IMPACT MESH ON ALL SURFACES BELOW 10'-0" A.F.F. 3. ALL ROOF TOP EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALL. 4. ALL SES UNITS WILL BE ENCLOSED AND PAINTED TO MATCH ADJACENT BUILDING COLOR PALETTE. 5. ALL BUILDING SIGNAGE TO BE UNDER A SEPARATE SUBMITTAL AND PERMIT	

24 GENERAL NOTES



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NEW RETAIL BUILDING
4865 S. Higley Rd. Gilbert, AZ

PROJECT NO: 18225-05
PROJECT MGR: OT
DRAWN BY: OT
CHECKED BY: JP

NO.	REVISION	DATE

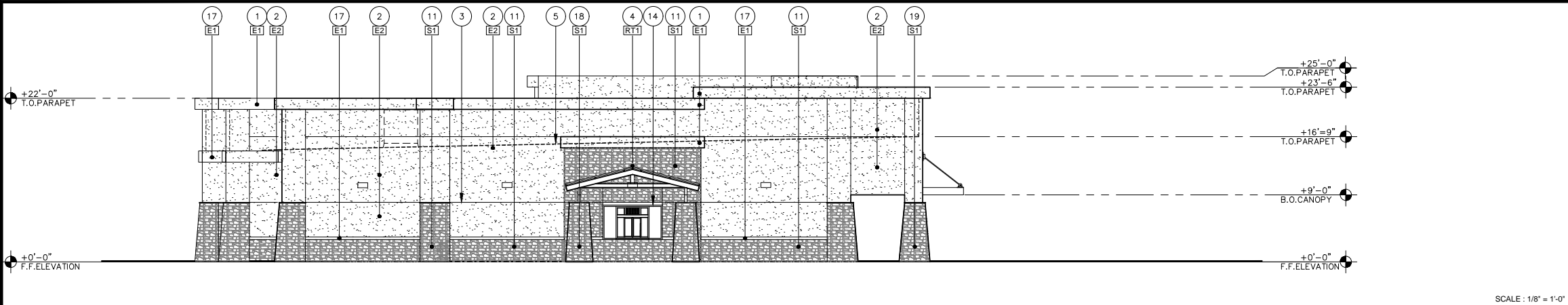
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colored elevations

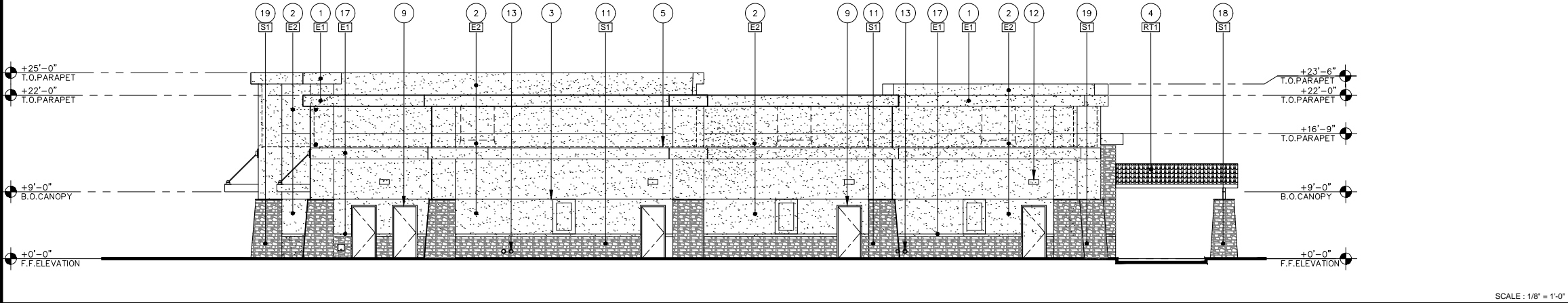
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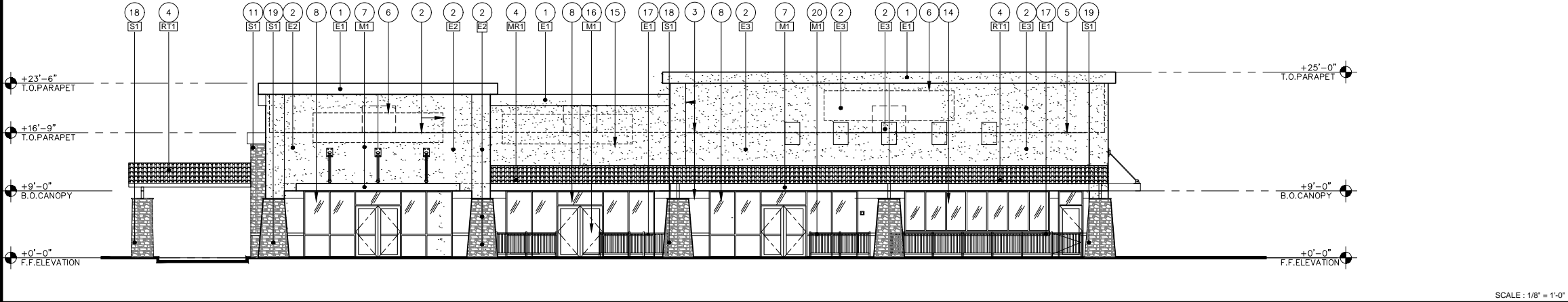
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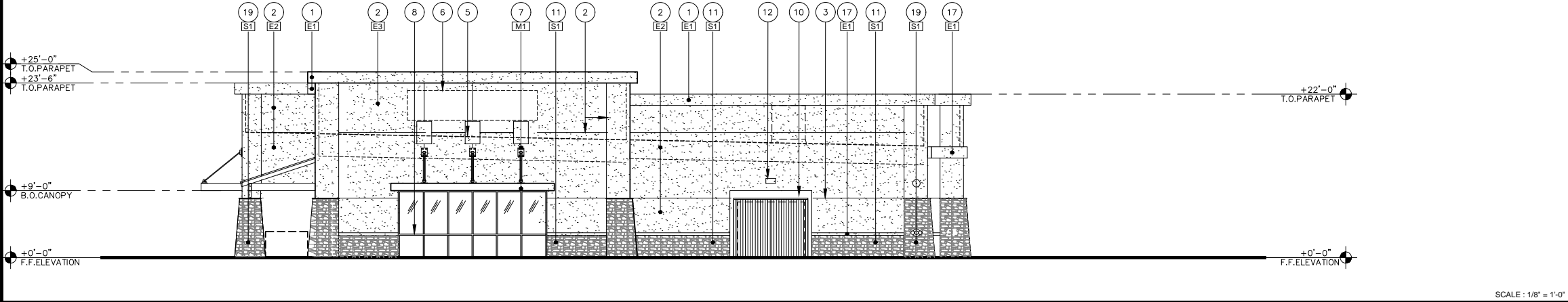
1 NORTH ELEVATION



7 EAST ELEVATION



13 WEST ELEVATION



19 SOUTH ELEVATION

CLAY ROOF TILE	
RT-1	MANUFACTURE: MCA
	COLOR: IRONWOOD BLEND
	STYLE: MISSION
EIFS	
E-1	COLOR: SW 7632 MODERN GREY
	TEXTURE: FINE SAND
E-2	COLOR: SW 7032 WARM STONE
	TEXTURE: FINE SAND
E-3	COLOR: SW 6081 TANBARK
	TEXTURE: FINE SAND
SIMULATED STONE VENEER	
S-1	MANUFACTURE: CORONADO STONE
	STYLE: TUSCAN VILLA
	COLOR: PRAIRIE MOSS
ALUMINUM STOREFRONT WINDOW SYSTEM	
A-1	MANUFACTURE: KAWNEER OR EQUAL
	FINISH: DARK BRONZE ANODIZED
GLASS	
G-1	MANUFACTURE: PPG
	COLOR: CLEAR
	THICKNESS: 1" INSULATED
MISC. METAL	
M-1	MANUFACTURE: SW
	COLOR: 7674 PEPPERCORN

12 EXTERIOR FINISH LEGEND

18 KEYNOTES

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24 GENERAL NOTES



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NEW RETAIL BUILDING

4865 S. HIGLEY RD.

GILBERT, ARIZONA 85298

PROJECT NUMBER: 182225-01
PROJECT MANAGER: OT
DRAWN BY: OT
CHECKED BY: JP

NO.	REVISION	DATE
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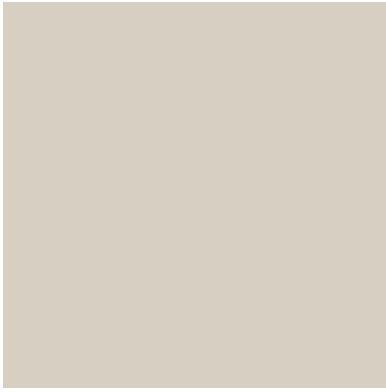
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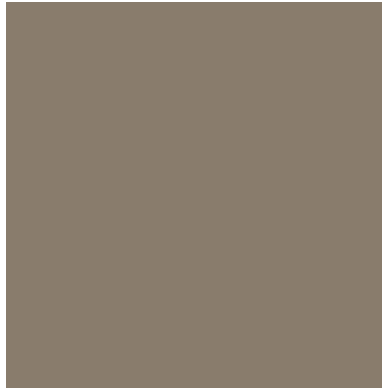
SHEET NO.

DR 3

ISSUE DATE: 07 MAY 18



SW 7632 MODERN GRAY =
FREZZE 892W BAUHAUS BUFF



SW 7032 WARM STONE =
FREZZE 8695 N THATCH ROOF



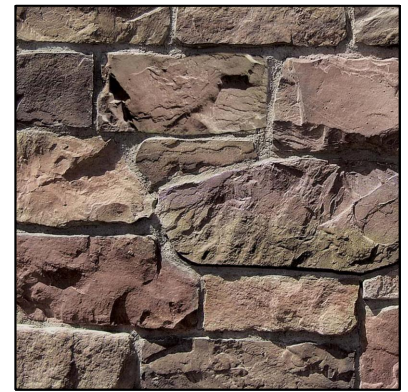
SW 6061 TANBARK =
FREZZE 8286N BURNTSIDE



MCA TILE - CLASSIC "S" MISSION
IRONWOOD BLEND OR =



SW 7674 PEPPERCORN =
FREZZE 87950 MAGNET



COLORADO STONE
TUSCAN VILLA - PRAIRIE MOSS



DARK BRONZE ANODIZE ALUMINUM
STOREFRONT WINDOW FRAME



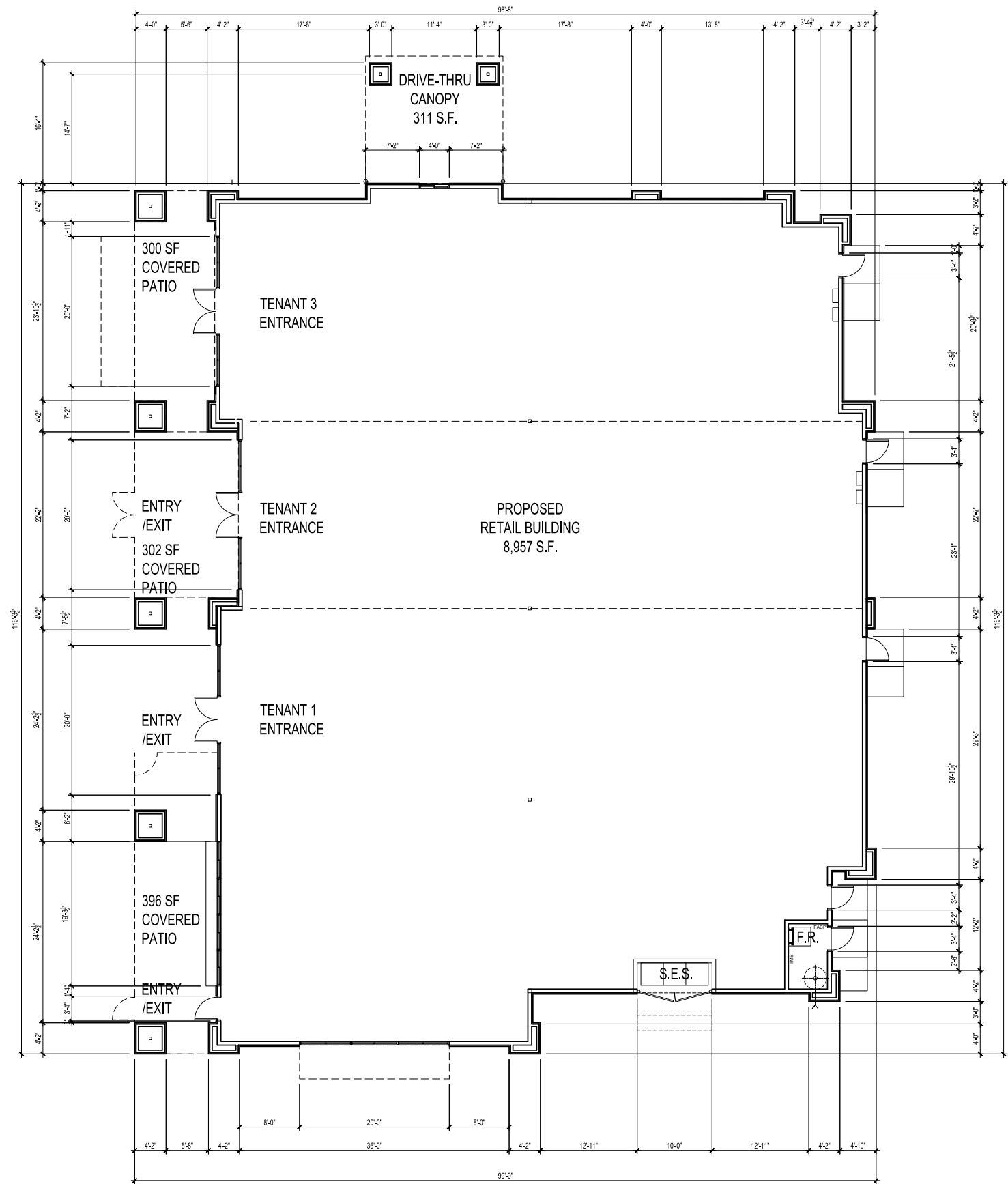
PPG
1" CLEAR INSULATED GLASS

HIGLEY VILLAGE RETAIL BUILDING
4865 S. HIGLEY RD.
GILBERT AZ. 85298
COLOR AND MATERIAL BOARD
11 JULY, 2018

EXHIBIT 7



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(19) PRELIMINARY FLOOR PLAN (8,957 SF)



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PROJECT NUMBER: 182225-01
PROJECT MANAGER: OT
DRAWN BY: OT
CHECKED BY: JP

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SHEET DESCRIPTION
FLOOR PLAN



SHEET NO.

DR 4

ISSUE DATE: 07 MAY 18

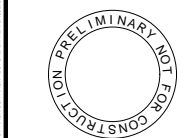


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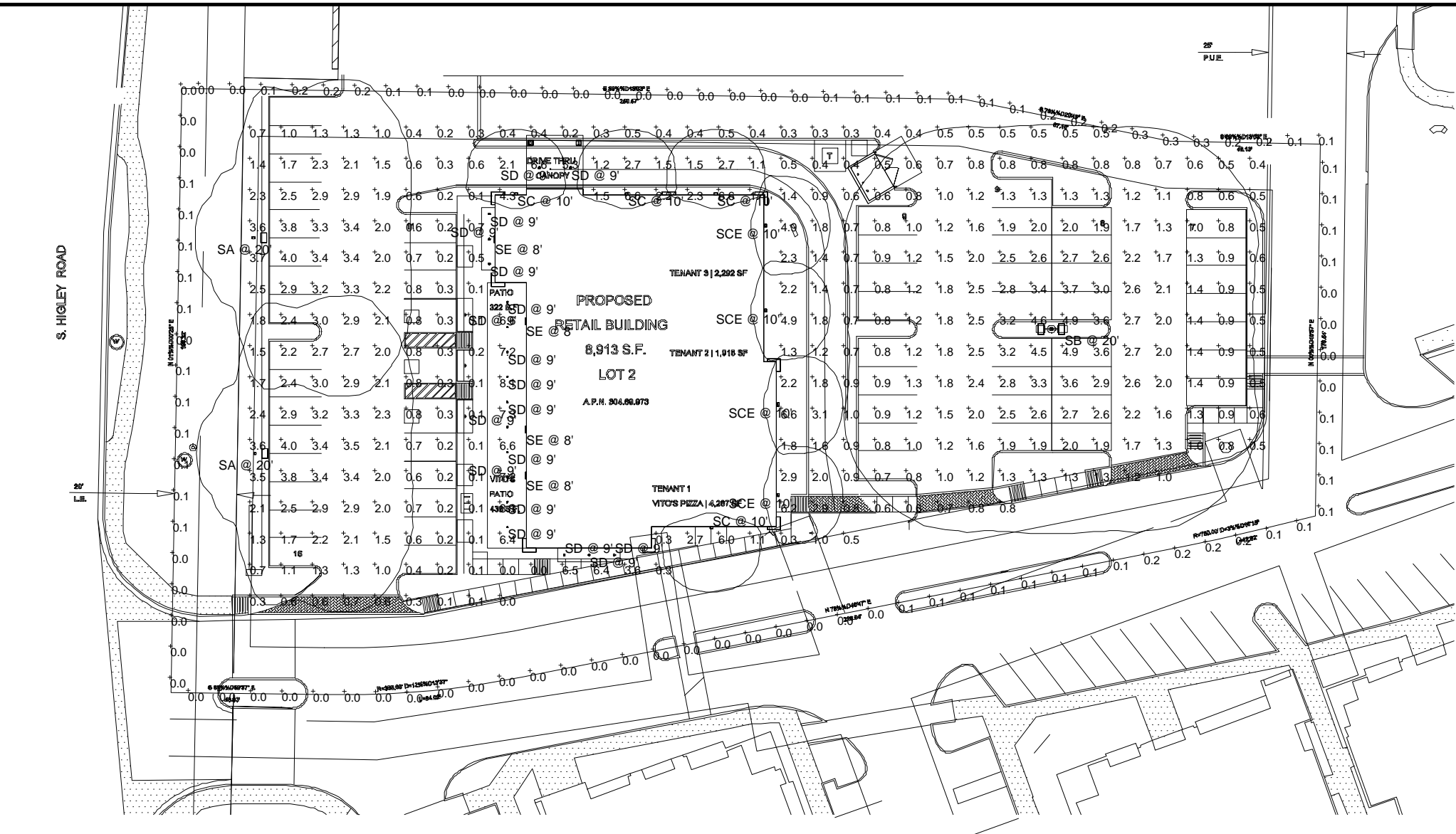
SHEET DESCRIPTION
PHOTOMETRIC PLAN



SHEET NO.

DR 5

ISSUE DATE: 07 MAY 18



Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor
	SA	2	Lithonia Lighting	DSX0 LED P6 40K TFTM MVOLT HS (FINISH) / SSS 17.5' W/2.5' BASE	DSX0 LED P6 40K TFTM MVOLT with houseside shield	LED	DSX0_LED_P6_40K_TF_TM_MVOLT_HS.ies	12465	0.91
	SB	1	Lithonia Lighting	(2) DSX0 LED P6 40K T5W MVOLT (FINISH) / SSS 17.5' W/2.5' BASE	TWIN-HEAD DSX0 LED P6 40K T5W MVOLT	LED	DSX0_LED_P6_40K_T5_W_MVOLT.ies	16466	0.91
	SC	4	Lithonia Lighting	WST LED P1 40K VF MVOLT (FINISH)	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT	LED	WST_LED_P1_40K_VF_MVOLT.ies	1639	0.91
	SCE	4	Lithonia Lighting	WST LED P1 40K VF MVOLT E7WH (FINISH)	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT W/EM BATTERY PACK	LED	WST_LED_P1_40K_VF_MVOLT.ies	1639	0.91
	SD	18	V2 LIGHTING	C4SP D V W 10 83 35 51 (FINISH) SS(STEM LENGTH)	CORE 400 SX PENDANT	LED	CORE_QUEBE_400_83CRI_1000lm_51_degree.ies	965	0.91
	SE	4	EELP	OMEL 10W W EM (FINISH)	MULLION MOUNT EMERGENCY FIXTURE	LED	MUE10X-T.ies	Absolute	0
									Wattage
									134
									268
									12
									12
									6.6
									10.7

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ 5' AFG	+	0.1 fc	0.3 fc	0.0 fc	N/A	N/A
SITE - FC @ GRADE	+	1.8 fc	8.1 fc	0.0 fc	N/A	N/A

